

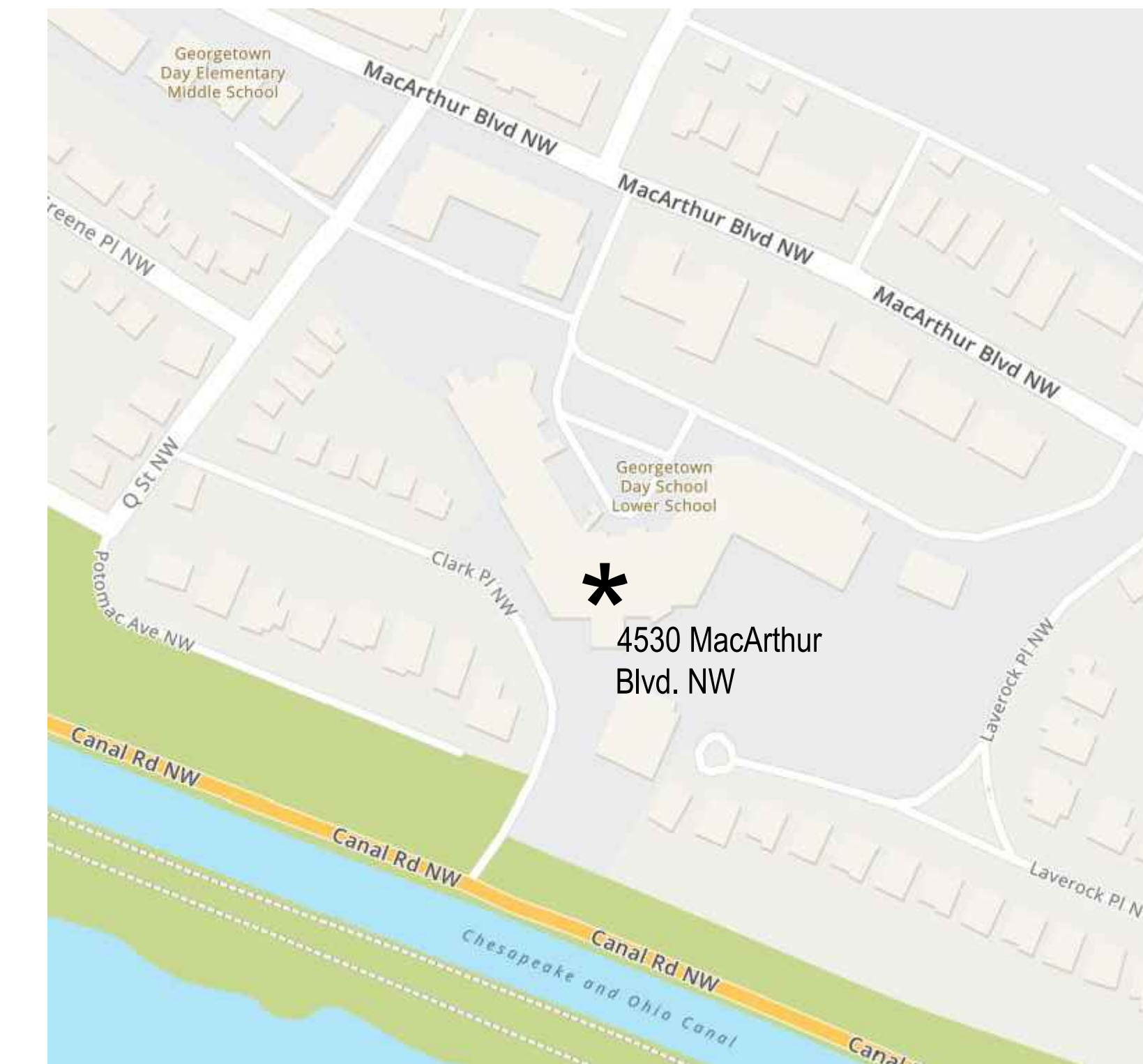
Renovation of

# MacArthur Blvd High School

4530 MacArthur Blvd NW, Washington, DC 20007

Issued for Permit

November 18, 2022



1 Location Plan  
G000 NTS

Consultants

**MEP Engineer**  
Engenum Group  
1017 O Street, NW  
Washington, DC 20001

**Structural Engineer**  
S Street Structural Engineers  
7119 Chestnut Street, NW  
Washington, DC 20012

**Kitchen Designer**  
Nyikos Garcia  
Foodservice Design  
7146 Starmount Way  
New Market, MD 21774

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### Project Team

**Client**  
Government of the District of Columbia  
Department of General Services  
2000 14th St NW  
Washington, DC 20009

**Architect**  
Studio Laan  
715 G Street, SE  
3rd Floor  
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**Kitchen Designer**  
Nyikos Garcia Foodservice Design Inc.  
7146 Starmount Way  
New Market, MD 21774

### Scope of Work

1. New cafeteria and kitchen within the existing building envelope.
2. MEP upgrades to serve new spaces.
3. New rooftop HVAC units and screen wall.
4. New cross-corridor and stair doors.

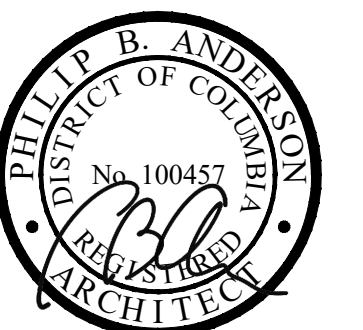
Renovation of  
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4530 MacArthur Blvd NW  
Washington, DC 20007

Title

Cover Sheet

Seal



Date

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Rev. Date

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Progress Set	09.02.2022
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Scale: NTS  
1" = 2'

Sheet

# G000



**General Notes**

- The contractor shall visit and examine the site to gather all necessary information regarding existing conditions and visible features, which would in any way, affect the work to be performed. Contractor shall verify in field all dimensions prior to commencing the work and promptly request clarification where discrepancies exist.
- Do not scale off drawings. Refer to written dimensions or request clarification from Architect.
- All work shall comply with all applicable Federal, State, and Local codes, regulations and ordinances, and shall comply with all regulations of utility companies and other governing bodies having jurisdiction. Workmanship and work procedures shall comply with industry standards and approved methodologies set down in applicable trade handbooks and manuals. In the event of conflict, the most stringent requirements shall govern.
- Before submitting a proposal each Bidder will be held to have examined the building site and satisfied himself as to the existing conditions under which he/she will be obligated to operate, or that will in any way affect the work under this contract.
- Dimensions shown to face of finish material unless noted otherwise. Check, coordinate and field verify all dimensions, elevations and construction details before starting work. Report any discrepancies or omissions to the Architect to coordinate correction prior to construction.
- Inform Architect of any discrepancies between assumed and actual conditions prior to the start of construction. Any issues that appear unresolved in drawings or specifications must be brought to the attention of the Architect by the Contractor for resolution prior to construction.
- Work shall be performed in a first class manner using new materials and shall be performed by competent, experienced craftsmen in each trade. Certified installers to be utilized where specified. The quality of construction shall meet or exceed the standards set forth in the National Design Specification for Wood Construction and by the American Woodworking Institute (AWI).
- All materials to be installed in strict accordance with manufacturer's and fabricator's specifications, recommendations and printed warnings for the handling, installation and protection of all pre-manufactured products.
- Contractor shall coordinate all trades and materials and the handling and storage of materials both on site and off.
- Contractor shall maintain job site in a safe, neat condition throughout the duration of the work. Demolition and/or construction debris shall be removed daily.
- Protect supplies, materials, equipment, work in preparation or being installed, and work in place against cold, heat and/or inclement weather. This may include temporary enclosures, blower heaters, etc. Contractor shall properly organize his work site area, storing his materials in such locations so as not to hamper the proper functioning of this area.
- Should Contractor desire to substitute another material or item for one or more specified by name, he shall apply in writing for such permission to the Architect, and allow sufficient time for Architect's review of the request and consultation with Owner.
- Whenever the phrase "or equal" or "or acceptable substitute" appears in drawings or specs, the following approval procedure must be followed prior to authorization to proposed change:
  - Supply Architect with written request for change, including manufacturers cut sheets, complete cost differential and any other installation data the Architect may require.
  - Supply sample to Architect upon submittal of cut sheets.
  - File proposed change order showing cost differential allowing proper time for Architect to confer with owner.
- Contractor shall submit complete written or graphic construction schedule prior to submittal of first Certificate of payment.
- Contractor shall determine in advance all items of later choice by Architect and/or Owner. Supply Architect with a schedule showing dates announcing at least two weeks lead time (for decisions on items) prior to ordering and/or need of a decision for the job. Determination of these items is solely the responsibility of the Contractor and scheduling of work may be adjusted accordingly to accommodate two weeks lead-time.
- Any and all discussions between Owner and Contractor regarding construction methods and/or design changes shall not be binding until authorized verbally or in writing by the Architect. It shall be solely at the Architect's discretion whether the authorization will be written or verbal. All non-authorized decisions between Owner and Contractor shall be considered the responsibility of the Contractor.
- Access panels shall be provided where indicated and as required for access to valves, apparatus, fire dampers, etc. Where in the opinion of the Contractor, access panels are required but are not shown on the drawings; the omission shall be brought to the attention of the Architect for approval prior to installation of equipment.
- The Contractor shall locate all equipment that must be serviced, operated, or maintained in fully accessible position. Equipment shall include, but not be limited to valves, traps, cleanouts, motors, controllers, drain points, etc. If required for better accessibility, furnish access doors for this purpose. Minor deviations from drawings may be made to allow for better accessibility. Any change must be approved.
- Minor details not usually shown or specified but necessary for the proper installation and operation of systems and equipment shall be included in the work and in the Contractor's estimate the same as if herein specified or shown.
- All floor mounted equipment and apparatus, where applicable, shall be provided with necessary complete pedestals, bases, pads, curbs, and anchor blocks as shown or required. Provide anchor bolts, slab inserts, cradle saddles, hangers and sleeves as may be required or necessary for proper support or attachment to the building for all piping, conduit, equipment and apparatus.
- Utilities located in or near this project, which are providing services to the general area, shall not be interrupted without approval of the Owner and coordination with the local utility companies.
- It is the intention of these drawings and specifications that all labor and materials

required for this project, whether or not specifically shown or specified shall be furnished and installed so that the building, when turned over to the Owner, will be complete and ready for continuous and satisfactory occupancy.

- Any portion of the work described herein or shown on the drawing, which is not completely understood by the Contractor, shall be clarified by the Architect before proceeding. Many questions cannot be answered, nor specific directions given, until the Architect and Contractor study actual evidence and conditions on the job. These conditions may not be apparent until work has been started. Hence, there is a continuing requirement for close communication between Contractor and Architect. The Contractor shall at all times keep the Architect informed as to evidence of conditions discovered.
- The Contractor is invited to make suggestions and recommendations to the Architect about different methods of accomplishing the work. The Contractor is responsible for calling to the Architect's attention work not specifically called for which, in his opinion, should be considered at this time.
- The Contractor shall facilitate the access of the Owner, the Architect and their representatives to the work at all times. The Contractor shall provide suitable structures to permit safe passage of pedestrians within and adjacent to the project area.
- The Contractor shall take all reasonable precautions to protect the Owner's property and adjacent property from fire or damage due to this construction project. The contractor shall be responsible for the repair and/or settlement of this damage at no additional cost to the Owner.
- Contractor shall take care to minimize damage in areas adjacent to the work. Where damage occurs, Contractor shall repair/replace materials as required, and return all areas to the same or better condition as prior to the work. Consult Owner for tenant work requirements.
- Job safety is the sole responsibility of the Contractor who shall conform to the safety requirements of all authorities having jurisdiction.
- Finished work shall be firm, well-anchored, in true alignment, plumb, level, with smooth, clean, uniform appearance, without waves, distortions, holes, marks, cracks, stains or discolorations. Joints shall be close fitting, neat and well scribed.

**Abbreviations**

A.B.	Anchor Bolt
ABV	Above
B.O.	Bottom Of
BLW	Below
BLDG.	Building
BOT.	Bottom
CMU	Concrete Masonry Unit
CONC.	Concrete
COORD.	Coordinate
ETR	Existing To Remain
E.W.	Each Way
EXIST.	Existing
HT.	Height
LONG.	Longitudinal
O.C.	On Center
PROP.	Property
P.T.	Pressure Treated
PTD	Painted
PLWD	Plywood
T.O.	Top Of
TYP	Typical
U.N.O.	Unless Noted Otherwise
VIF	Verify In Field
VTR	Vent To Roof
WD	Wood

**Symbols**

Detail No.		Section Reference Mark
Sheet No.		Interior Elevation Reference Mark
Detail No.		Exterior Elevation Reference Mark
Sheet No.		Detail Reference Mark
Sheet No.		Room Tag
		Grid Start Location
		Revision Cloud and Tag
		Keynote Symbol
		Align Arrows
		Break Line
		Dimension Mark
		Centerline
		Match Line
		Pricing Alternate Reference Mark

**Material Legend**

	Gypsum Wallboard
	Plywood
	Mdf Board
	Solid Wood
	Wood Veneer
	Earth
	Gravel
	Concrete
	Green Roof
	Precast Concrete
	Concrete Block/ Masonry Unit
	Steel
	Aluminium
	Glass
	Rigid Insulation
	Batt Insulation
	Stone
	Wood Decking

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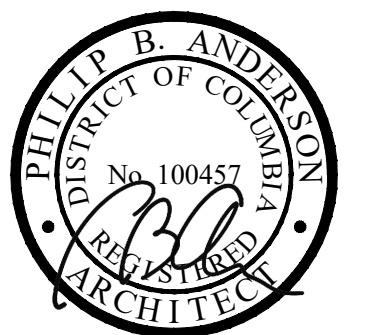
Renovation of  
**MacArthur Blvd  
High School**

4530 MacArthur Blvd NW  
Washington, DC 20007

Title

**General Notes &  
Symbols**

Seal



Date

11.18.2022

Rev.	Date
Existing Conditions	05.16.2022
Progress Set	09.02.2022
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Sheet

**G001**



**Zoning & Building Code Analysis**

Address: 4530 MacArthur Blvd. NW  
Washington, DC 20007

SSL: 1356/.0899 & 0896  
Zone: Split R-1-B, RA-1  
Historic District or Overlay: None

Lot Area: 145,321 & 73,352

Exist. Floor Plate:  
Second Floor 11,447 gsf  
First Floor 52,162 gsf  
Lower Level 1 30,630 gsf  
Lower Level 2 3,602 gsf  
Total: 97,841 gsf

Work Area: 7,397 sf

Exist. & Prop. Use: E-Educational (Primary)  
B-Business (Accessory)  
A-Assembly (Accessory)

Construction Type: III-B  
Max. Allow. Area [506.2.3]: [43,500+(14,500\*0.25)]\*2 = 94,250 sf  
Max. Exist./Prop. Area: (51,954+11,447) = 63,401 sf above grade  
Existing Building Height: 2 Stories above grade + 2 Basement Levels  
High Rise: No  
Bldg. Fully Sprinklered: Yes

**Relevant Building Codes:**  
2017 DCMR Title 12, incorporating:  
2015 International Building Code (IBC)  
2015 International Fuel Gas Code (IFGC)  
2015 International Mechanical Code (IMC)  
2015 International Plumbing Code (IPC)  
2014 NFPA National Electrical Code (NEC)  
2015 International Property Maintenance Code (IPMC)  
2015 International Fire Code (IFC)  
2013 ANSI/ASHRAE/IES 90.1  
2012 International Green Construction Code (IGCC)  
2015 International Existing Building Code (IEBC)  
2010 ADAAG, ADA Standards  
2009 ANSI A117.1  
2006 DC Green Building Act & Amendments  
1989 DC Environmental Policy Act  
2016 ASME A17.1

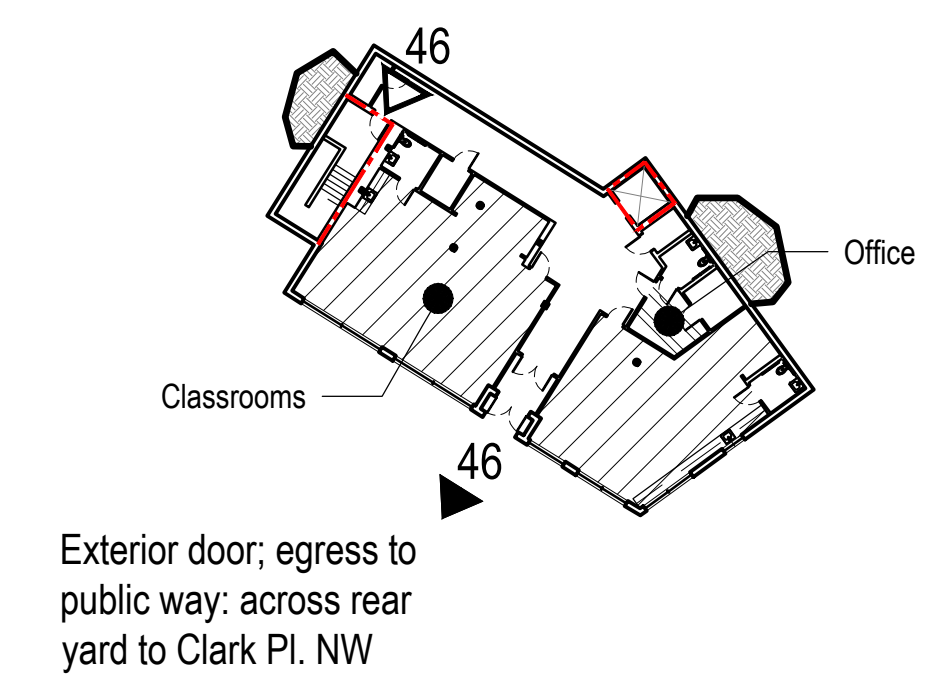
**Life Safety Criteria [Referenced Code]**

- Fire alarm system and egress signage existing to remain, or relocated as indicated in plans.
- Fire resistance rating requirements for building elements [IBC Table 601]
 

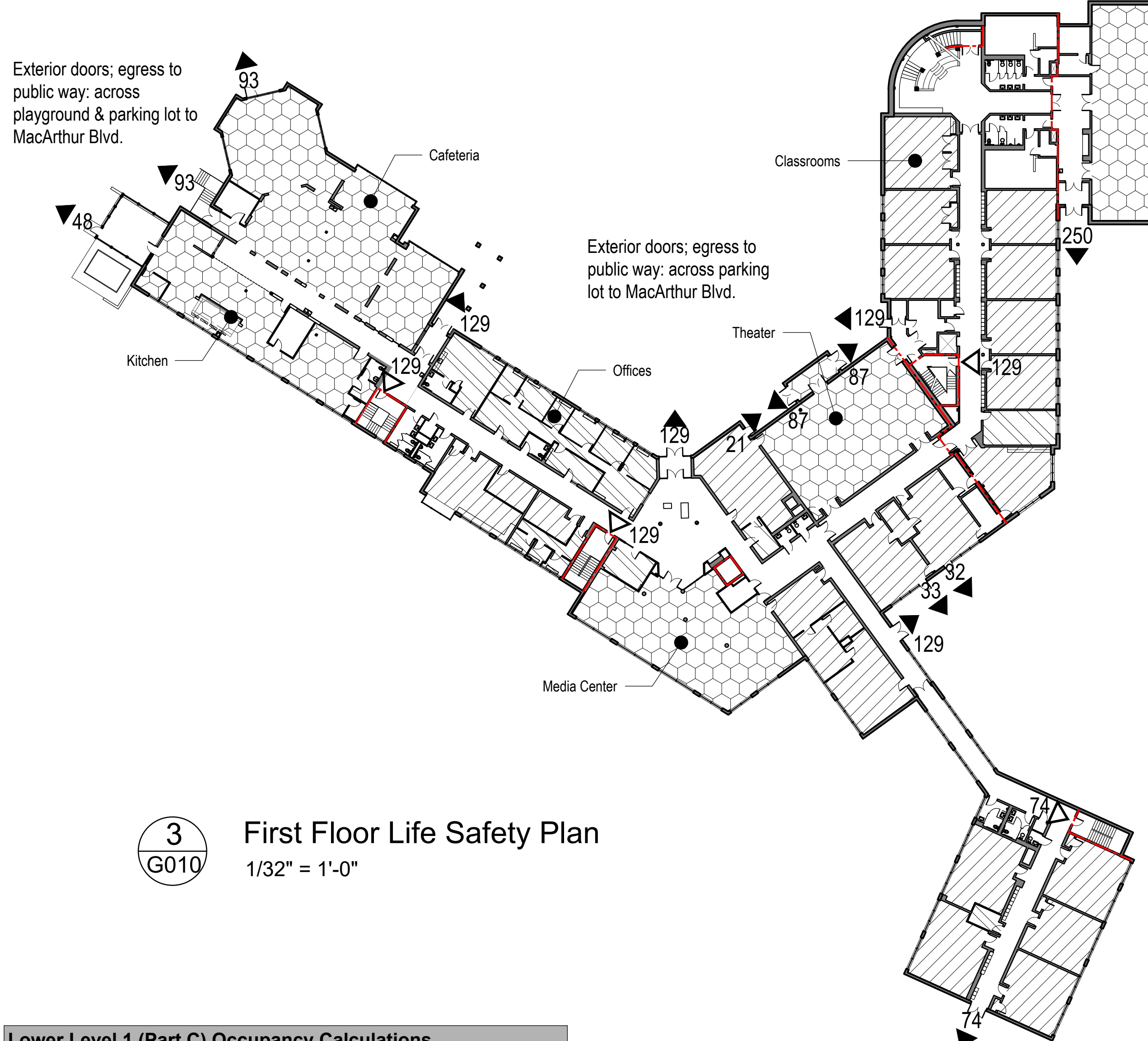
For Type III-B Construction:	
Primary Structural Frame:	0 hr
Bearing Walls	
Exterior	2 hr
Interior	0 hr
Nonbearing Interior Walls	0 hr
Floor Construction	0 hr
Roof Construction	0 hr
- Maximum length of dead end corridors [IBC 1020.4]
  - A, E use group, sprinklered bldg: 50'-0"
- Maximum common path of egress travel [IBC Table 1006.2.1]
  - A, E use groups, sprinklered bldg: 75'-0"
  - B use group, sprinklered bldg: 100'-0"
- Maximum exit access travel distance [IBC Table 1017.2]
  - A, E use groups, sprinklered bldg: 250'-0"
  - B use group, sprinklered bldg: 300'-0"
- Existing occupant load and paths of egress travel shall remain unaltered in all areas of the building not included in scope of work defined herein
- Existing exterior envelope and all structural members shall remain unaltered in this interior renovation

**Lower Level 2 Occupancy Calculations**

Zone	GFA	Use Group	OLF	Occupancy (GFA/OLF)
Classrooms	1,819	E	20	91
Offices	93	B	100	1
Unoccupied - Corridors, restrooms, storage, walls, etc.	1,690	N/A	N/A	
<b>Totals:</b>	<b>3,602</b>			<b>92</b>



**1**  
G010 Lower Level 2 Life Safety Plan  
1/32" = 1'-0"



**First Floor Occupancy Calculations**

Zone	GFA	Use Group	OLF	Occupancy (GFA/OLF)
Classrooms	11,821	E	20	591
Offices	3,061	B	100	31
Kitchen & Cafeteria	6,281	A-2	15	419
Media Center	2,368	A-3	15	158
Theater	2,432	A-1	7	347
Gymnasium	8,321	A-3	15	555
Unoccupied - Corridors, restrooms, storage, walls, etc.	17,439	N/A	N/A	
<b>Totals:</b>	<b>51,723</b>			<b>2,100</b>

**Life Safety Plan Legend**

- # Floor Egress (w/ occ. load)
- # Building Egress (w/ occ. load)
- Individual Tenant Suite
- Travel Distance
- 1 hr rated wall
- 2 hr rated wall
- Point of Decision
- Existing 2 hr rated ceiling above
- FE Fire Extinguisher cabinet

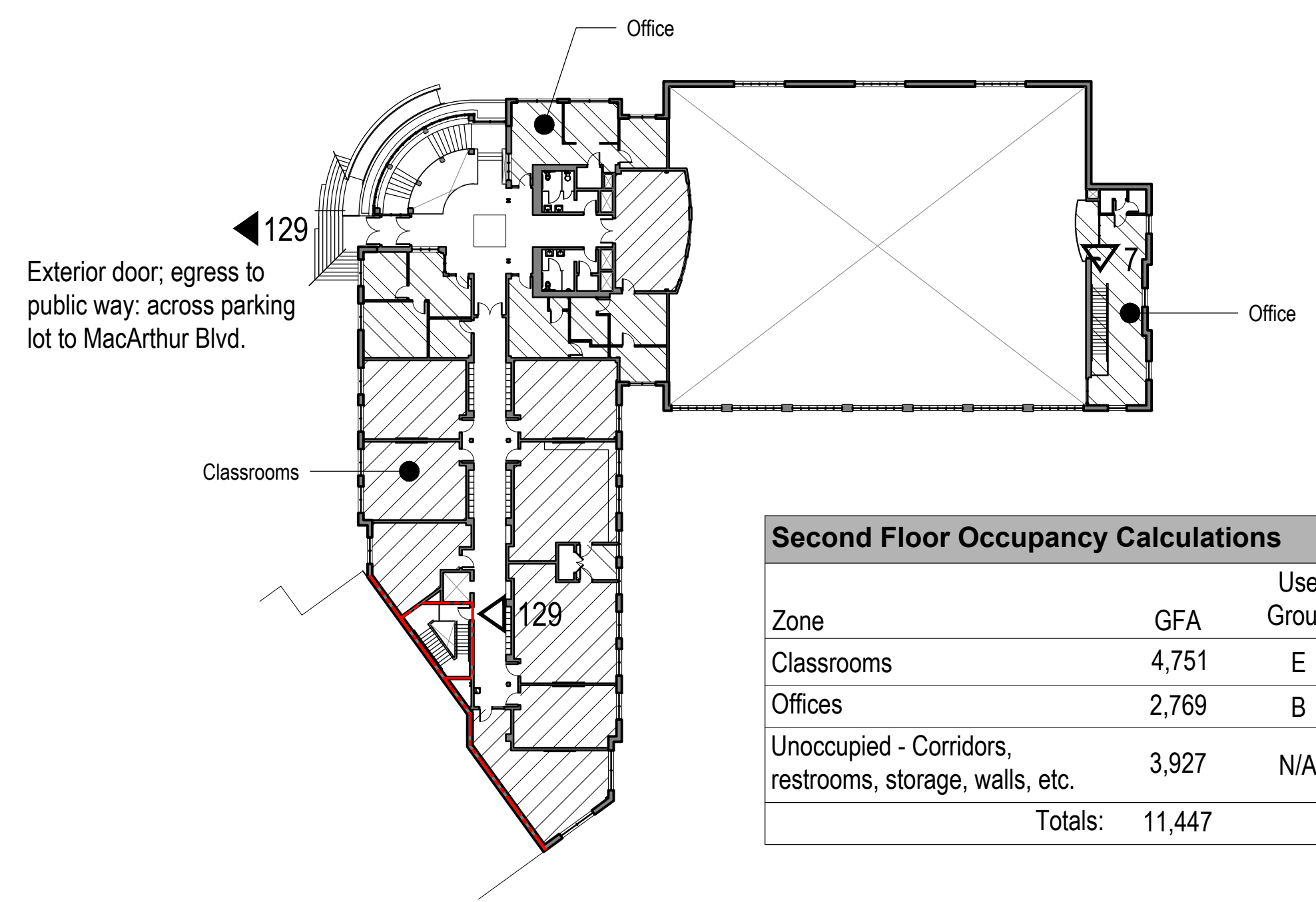
**Occupancy Group Legend**

- Assembly - A
- Business - B
- Educational - E
- Mechanical/Electrical - S

**3**  
G010 First Floor Life Safety Plan  
1/32" = 1'-0"

**Lower Level 1 (Part C) Occupancy Calculations**

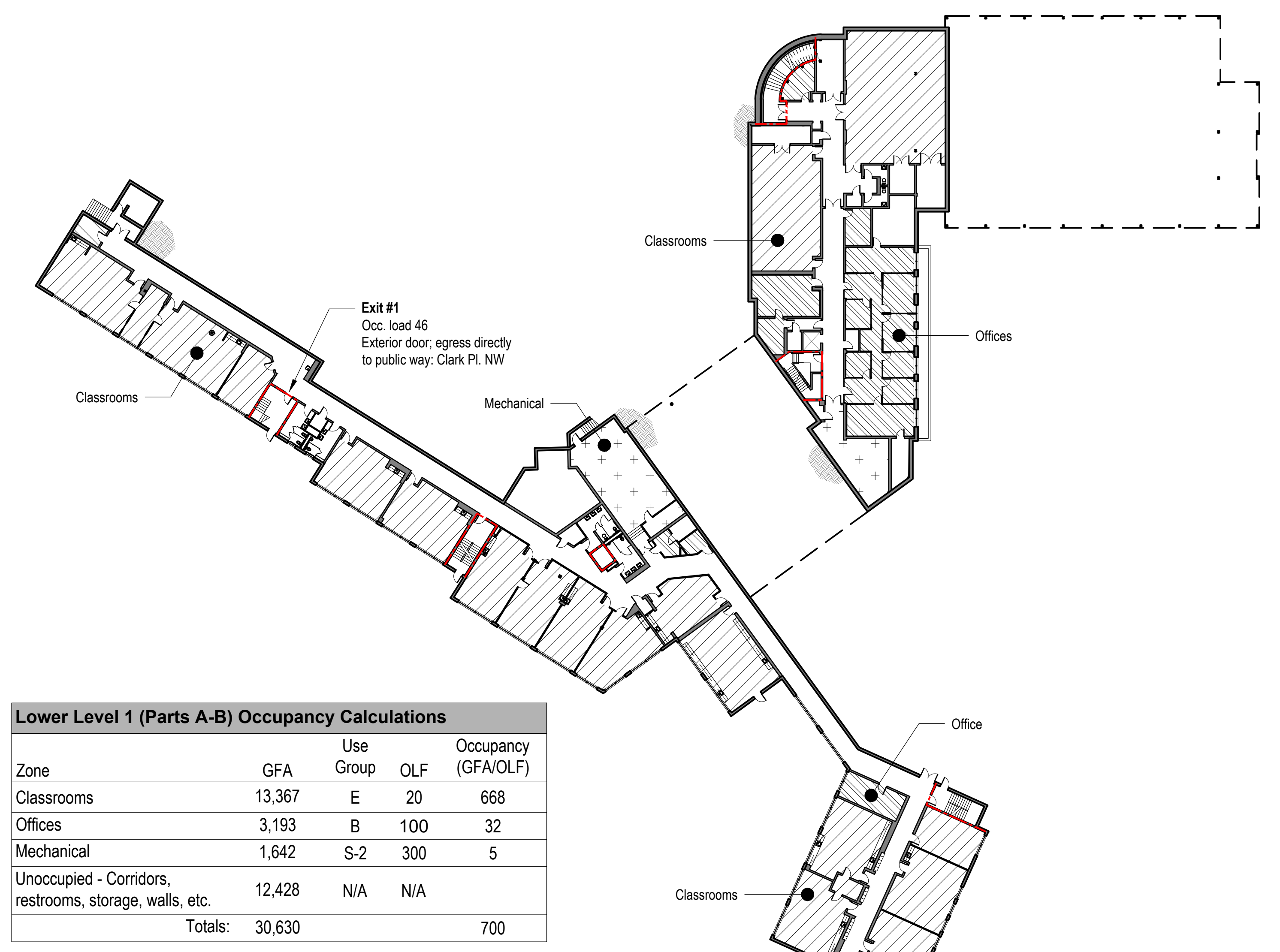
Zone	GFA	Use Group	OLF	Occupancy (GFA/OLF)
Classrooms	13,367	E	20	668
Offices	3,193	B	100	32
Mechanical	1,642	S-2	300	5
Unoccupied - Corridors, restrooms, storage, walls, etc.	12,428	N/A	N/A	
<b>Totals:</b>	<b>30,630</b>			<b>700</b>



**Second Floor Occupancy Calculations**

Zone	GFA	Use Group	OLF	Occupancy (GFA/OLF)
Classrooms	4,751	E	20	238
Offices	2,769	B	100	28
Unoccupied - Corridors, restrooms, storage, walls, etc.	3,927	N/A	N/A	
<b>Totals:</b>	<b>11,447</b>			<b>265</b>

**4**  
G010 Second Floor Life Safety Plan  
1/32" = 1'-0"



**Lower Level 1 (Parts A-B) Occupancy Calculations**

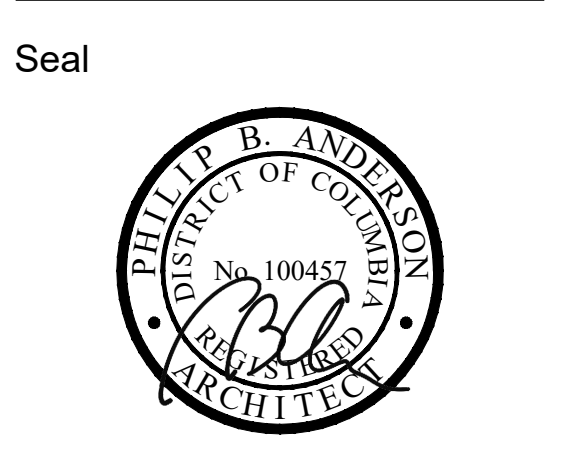
Zone	GFA	Use Group	OLF	Occupancy (GFA/OLF)
Classrooms	13,367	E	20	668
Offices	3,193	B	100	32
Mechanical	1,642	S-2	300	5
Unoccupied - Corridors, restrooms, storage, walls, etc.	12,428	N/A	N/A	
<b>Totals:</b>	<b>30,630</b>			<b>700</b>

**2**  
G010 Lower Level 1 Life Safety Plan  
1/32" = 1'-0"

Renovation of  
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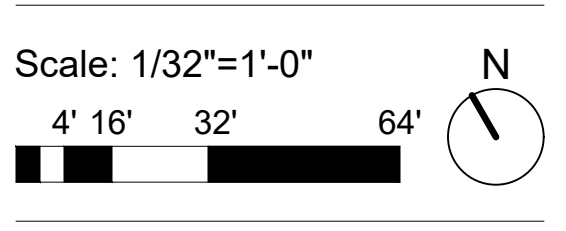
4530 MacArthur Blvd NW  
Washington, DC 20007

Code Analysis &  
Life Safety Plan



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**General Demolition Notes**

- Contractor shall inspect entire floor and suite prior to demolition. All discrepancies with respect to the drawings shall be immediately brought to the attention of the architect for resolution prior to proceeding.
- Contractor shall remove all abandoned services or utilities back to the nearest live branch and cap in a safe manner. Unused electrical circuits shall be removed back to the panel. Provide access panels as required by building code and inspectors at new terminations.
- Coordinate w/ Owner for disposition of salvaged material, fixtures and equipment.
- Contractor should notify Owner if hazardous material is suspected.

**Demolition Keynotes**

- D1 Demolish existing walls and doors as indicated in plan.
- D2 Remove existing casework, millwork, associated plumbing fixtures and appliances. Caps all plumbing unless to be reused for new work plumbing fixture installation. Coordinate with new work plans for full extent.
- D3 Remove existing MEP systems.
- D4 Remove existing flooring.
- D5 Remove existing ACT ceiling, lighting and Mech. devices.
- D6 Demolish existing wall to create new opening.
- D7 Remove existing plumbing fixtures. Cap all plumbing unless to be reused for new work plumbing fixture installation. Coordinate with new work plans for full extent.
- D8 Remove existing office wall partitions and doors.
- D9 Uninstall and salvage existing plumbing fixtures and related accessories for reuse.



1 First Floor Demolition Plan Section A  
1/8" = 1'-0"

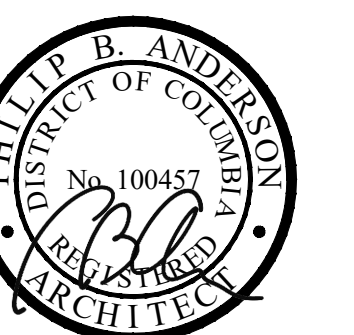
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**First Floor Demolition Plan Section A**

Seal



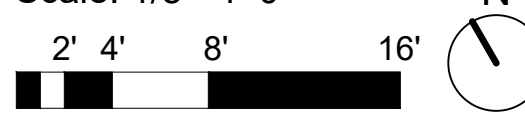
Date

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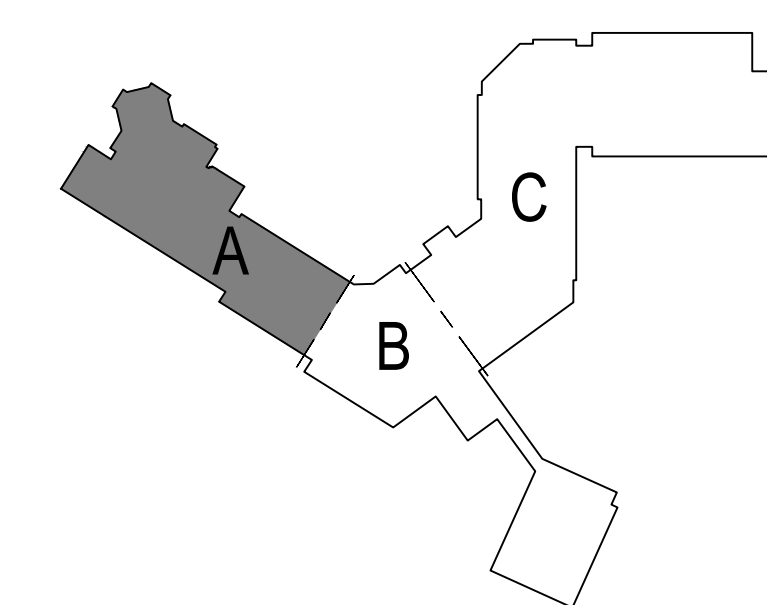
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Scale: 1/8"=1'-0"

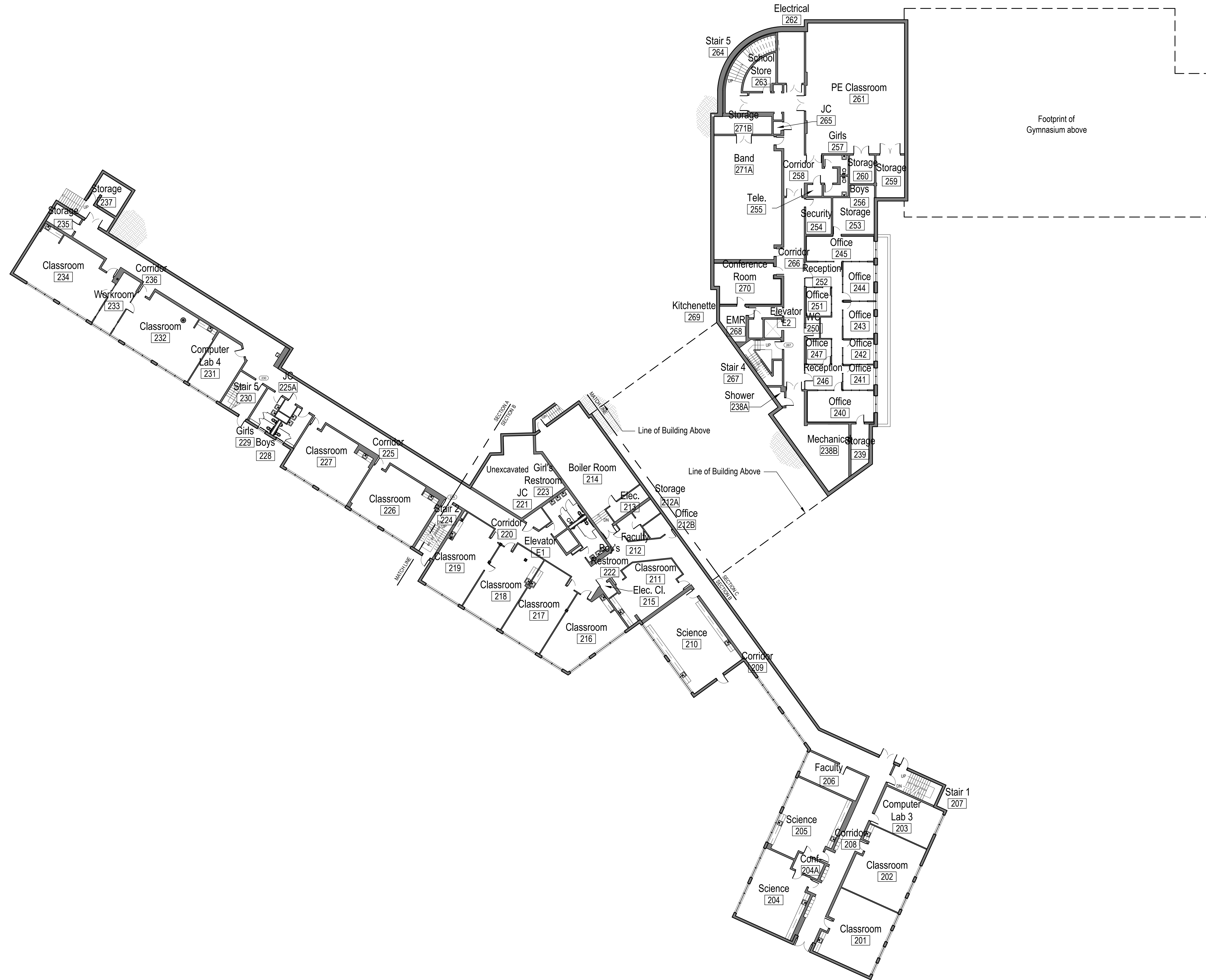


Sheet

**D100**







Renovation of  
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**Lower Level 1  
Overall Plan**

Seal



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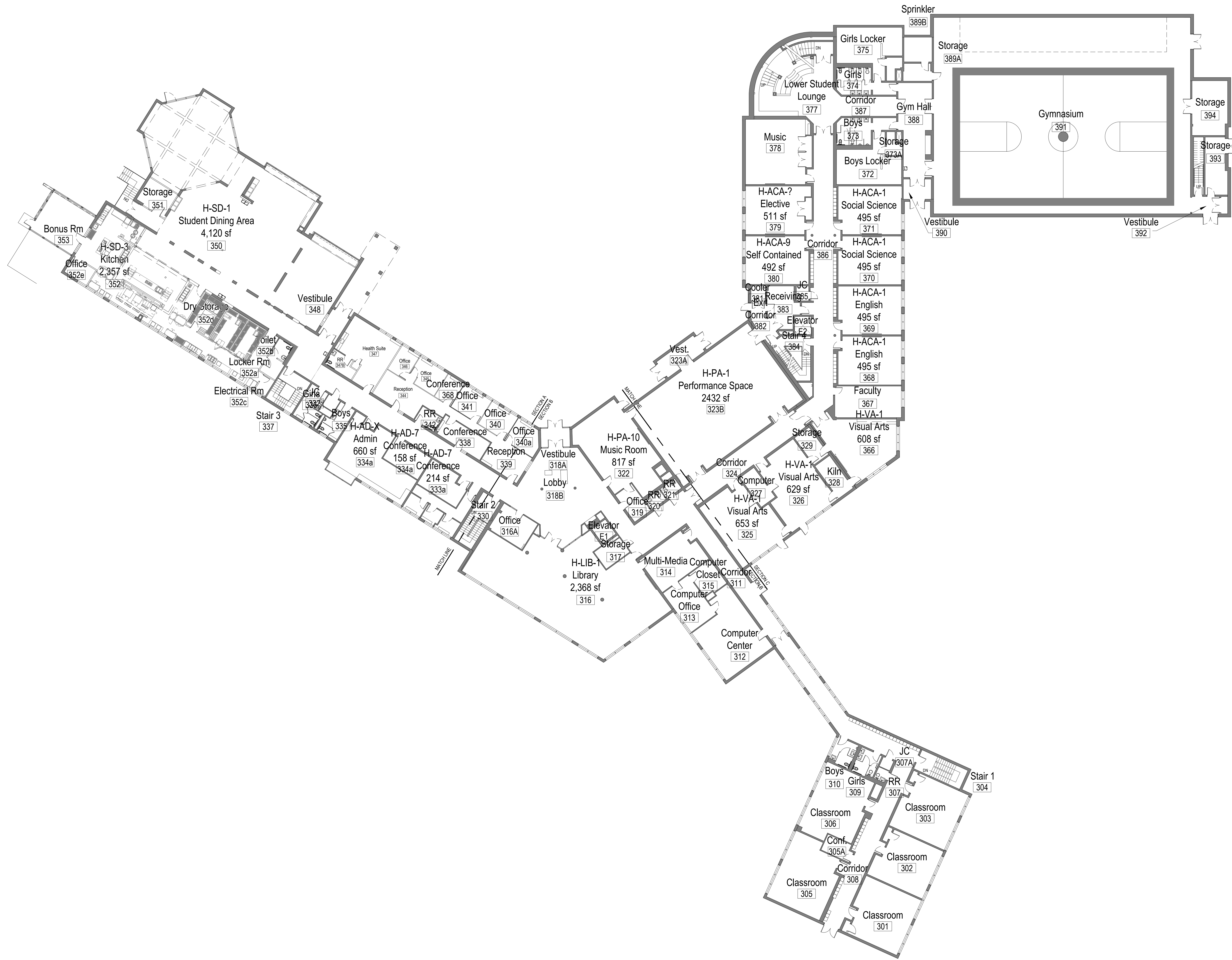
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Sheet

**A001**





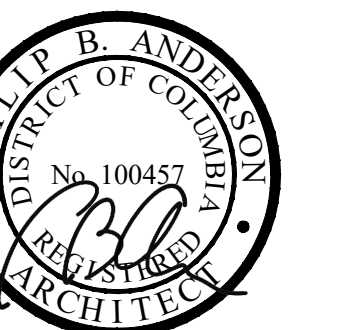
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**First Floor  
Overall Plan**

Seal



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Scale: 1/16"=1'-0" N  
4' 8' 16' 32'

Sheet  
**A002**



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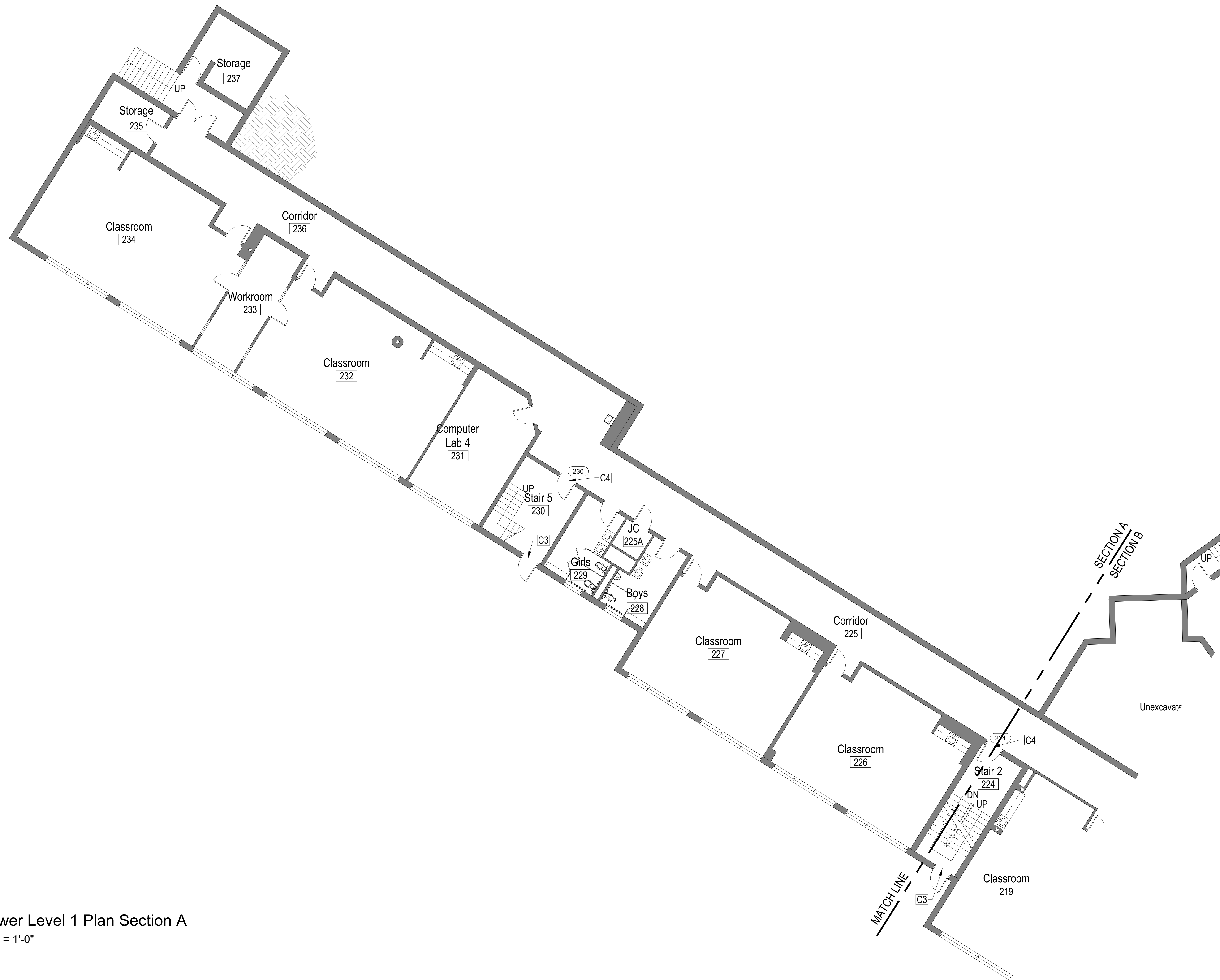
**Kitchen Designer**  
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New Market, MD 21774

**General Construction Notes**

1. Contractor shall verify all dimensions in field prior to commencing work.
2. Paint all areas affected by the work to match adjacent areas.
3. New Kitchen. Coordinate with Kitchen Designer and MEP.
4. FF&E to be provided by Owner.

**Construction Keynotes**

- C1 Remove existing flooring & related wall base. Prepare floor as req'd & install new rubber sheet flooring or resilient flooring and wall base.
- C2 Not used.
- C3 Not used.
- C4 Replace existing door with new door. Re: door schedule
- C5 New GWB partitions, typ.
- C6 New door. Re: door sched. Where new opening req'd, Re: lintel sched.
- C7 Install new millwork. Re: interior elevations.
- C8 Install existing salvaged plumbing fixtures and related accessories.
- C9 Not Used.
- C10 Not Used.
- C11 New borrowed lite.
- C12 New CMU wall to match exist. CMU walls.
- C13 Install rolling door. Re: Equipment schedule.
- C14 New plumbing fixture with new connections.
- C15 Not Used.
- C16 New appliance. Re: equipment schedule.
- C17 Repaint gym flooring at selected locations.
- C18 New CMU walls.
- C19 Install new security equipment.



**1** Lower Level 1 Plan Section A  
A100 1/8" = 1'-0"

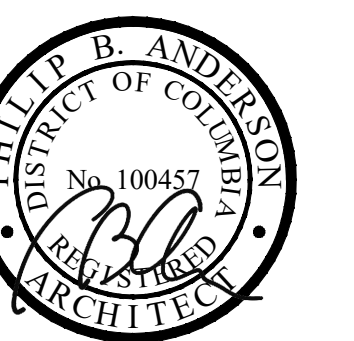
Renovation of  
**MacArthur Blvd High School**

4530 MacArthur Blvd NW  
Washington, DC 20007

Title

**Lower Level 1 Plan Section A**

Seal



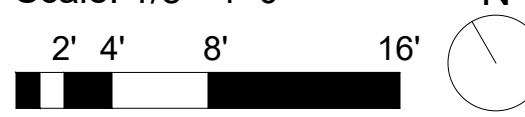
Date

11.18.2022

Rev. Date

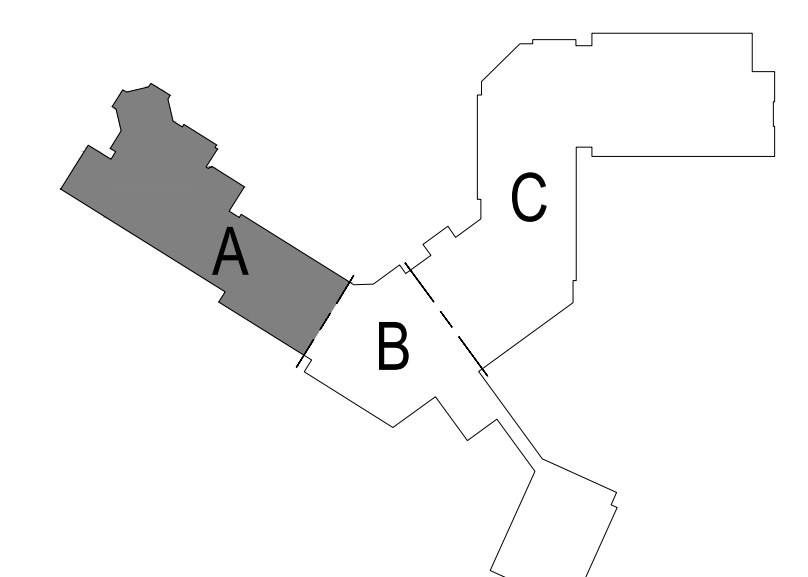
Existing Conditions	05.16.2022
Progress Set	09.02.2022
DD Set	10.04.2022
VE Progress/Coordination	10.12.2022
Permit Checklist	11.01.2022
Permit Set	11.18.2022

Scale: 1/8"=1'-0"



Sheet

**A100**





**General Construction Notes**

- Contractor shall verify all dimensions in field prior to commencing work.
- Paint all areas affected by the work to match adjacent areas.
- New Kitchen. Coordinate with Kitchen Designer and MEP.
- FF&E to be provided by Owner.

**Construction Keynotes**

- C1 Remove existing flooring & related wall base. Prepare floor as req'd & install new rubber sheet flooring or resilient flooring and wall base.
- C2 Not used.
- C3 Not used.
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- C5 New GWB partitions, typ.
- C6 New door. Re: door sched. Where new opening req'd, Re: lintel sched.
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- C13 Install rolling door. Re: Equipment schedule.
- C14 New plumbing fixture with new connections.
- C15 Not Used.
- C16 New appliance. Re: equipment schedule.
- C17 Repaint gym flooring at selected locations.
- C18 New CMU walls.
- C19 Install new security equipment.

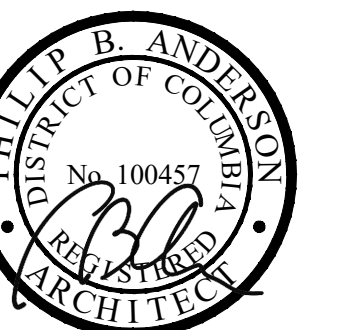
Renovation of  
**MacArthur Blvd High School**

4530 MacArthur Blvd NW  
Washington, DC 20007

Title

**Lower Level 1 & 2  
Plan Section B**

Seal



Date

11.18.2022

Rev. Date

Existing Conditions	05.16.2022
Progress Set	09.02.2022
DD Set	10.04.2022
VE Progress/Coordination	10.12.2022
Permit Checklist	11.01.2022
Permit Set	11.18.2022

Scale: 1/8"=1'-0"



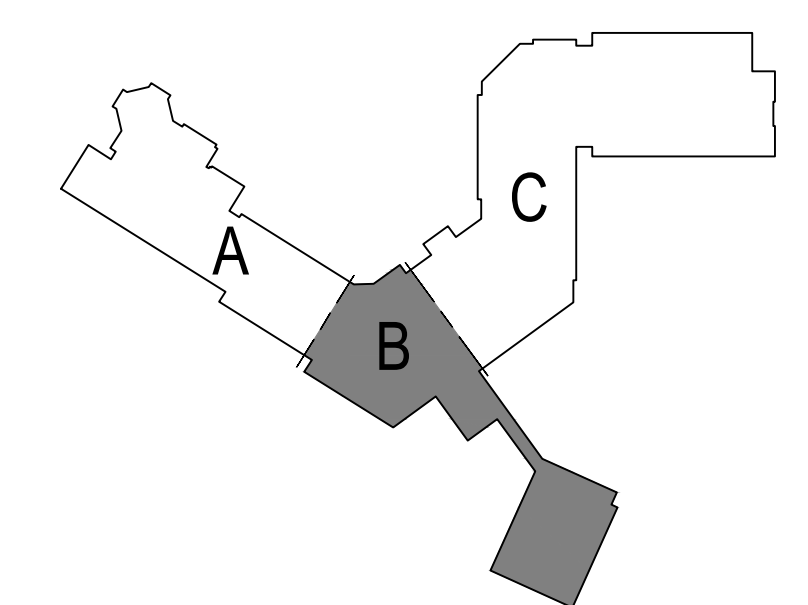
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**A101**



**2**  
A101 Lower Level 2 Plan Section B  
1/8" = 1'-0"

**1**  
A101 Lower Level 1 Plan Section B  
1/8" = 1'-0"



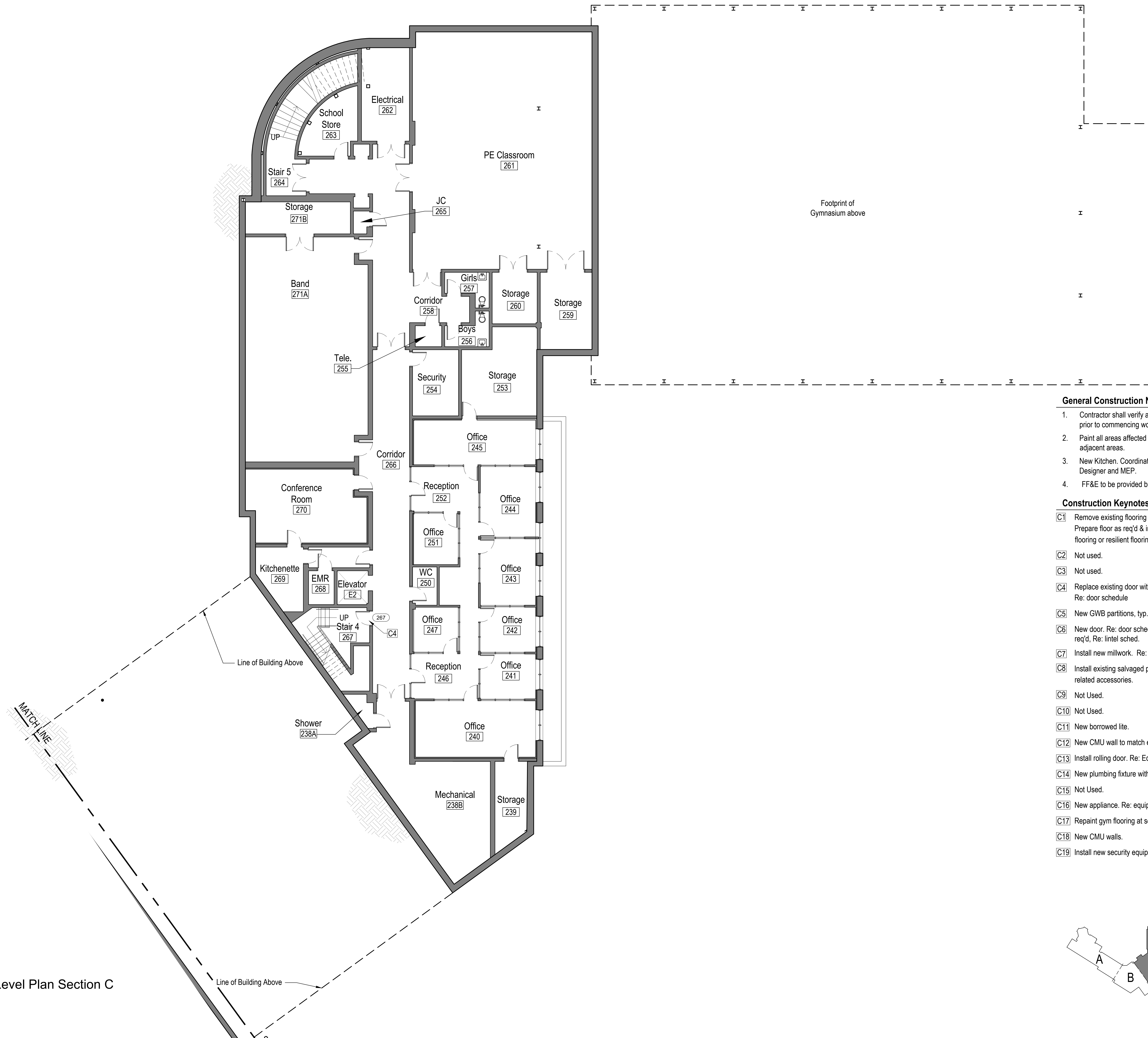


Consultants

**MEP Engineer**  
Engenium Group  
1017 O Street, NW  
Washington, DC 20001

**Structural Engineer**  
S Street Structural Engineers  
7119 Chestnut Street, NW  
Washington, DC 20012

**Kitchen Designer**  
Nyikos Garcia  
Foodservice Design  
7146 Starmount Way  
New Market, MD 21774



**General Construction Notes**

- Contractor shall verify all dimensions in field prior to commencing work.
- Paint all areas affected by the work to match adjacent areas.
- New Kitchen. Coordinate with Kitchen Designer and MEP.
- FF&E to be provided by Owner.

**Construction Keynotes**

- C1 Remove existing flooring & related wall base. Prepare floor as req'd & install new rubber sheet flooring or resilient flooring and wall base.
- C2 Not used.
- C3 Not used.
- C4 Replace existing door with new door. Re: door schedule
- C5 New GWB partitions, typ.
- C6 New door. Re: door sched. Where new opening req'd, Re: lintel sched.
- C7 Install new millwork. Re: interior elevations.
- C8 Install existing salvaged plumbing fixtures and related accessories.
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- C10 Not Used.
- C11 New borrowed lite.
- C12 New CMU wall to match exist. CMU walls.
- C13 Install rolling door. Re: Equipment schedule.
- C14 New plumbing fixture with new connections.
- C15 Not Used.
- C16 New appliance. Re: equipment schedule.
- C17 Repaint gym flooring at selected locations.
- C18 New CMU walls.
- C19 Install new security equipment.

Renovation of  
**MacArthur Blvd High School**

4530 MacArthur Blvd NW  
Washington, DC 20007

Title

**Lower Level 1 Plan Section C**

Seal



Date

11.18.2022

Rev. Date

Existing Conditions	05.16.2022
Progress Set	09.02.2022
DD Set	10.04.2022
VE Progress/Coordination	10.12.2022
Permit Checklist	11.01.2022
Permit Set	11.18.2022

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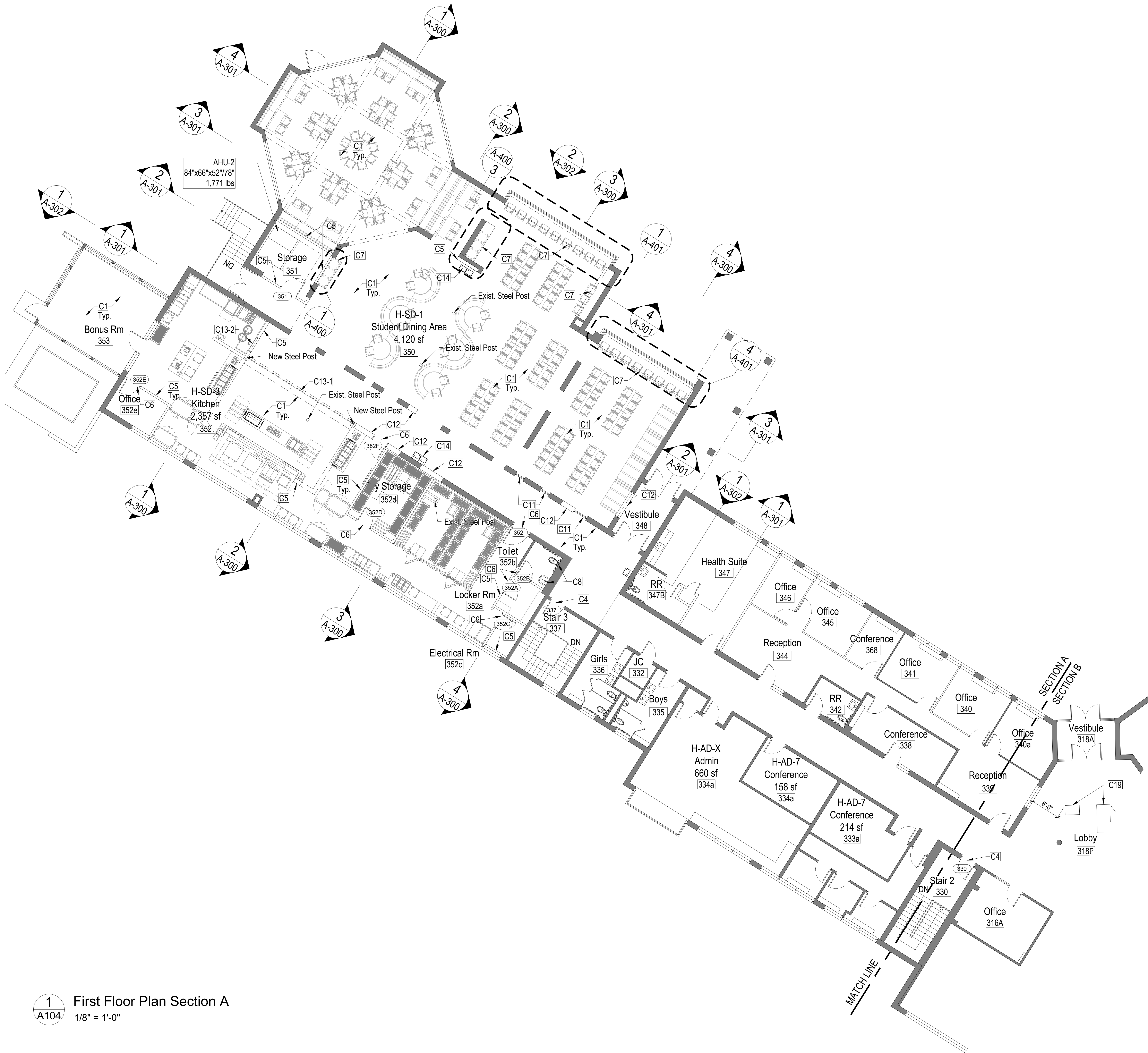


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**A102**

**1**  
A102 Lower Level Plan Section C  
1/8" = 1'-0"





1 A104 First Floor Plan Section A  
1/8" = 1'-0"

**General Construction Notes**

- Contractor shall verify all dimensions in field prior to commencing work.
- Paint all areas affected by the work to match adjacent areas.
- New Kitchen. Coordinate with Kitchen Designer and MEP.
- FF&E to be provided by Owner.

**Construction Keynotes**

- C1 Remove existing flooring & related wall base. Prepare floor as req'd & install new rubber sheet flooring or resilient flooring and wall base.
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- C13 Install rolling door. Re: Equipment schedule.
- C14 New plumbing fixture with new connections.
- C15 Not Used.
- C16 New appliance. Re: equipment schedule.
- C17 Repaint gym flooring at selected locations.
- C18 New CMU walls.
- C19 Install new security equipment.

**Consultants**

**MEP Engineer**  
Engenium Group  
1017 O Street, NW  
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**Structural Engineer**  
S Street Structural Engineers  
7119 Chestnut Street, NW  
Washington, DC 20012

**Kitchen Designer**  
Nyikos Garcia  
Foodservice Design  
7146 Starmount Way  
New Market, MD 21774

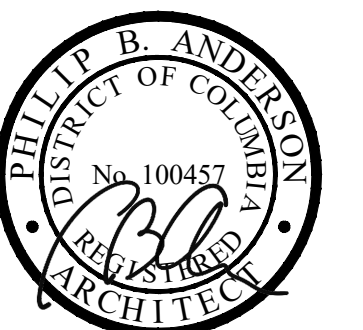
Renovation of  
**MacArthur Blvd High School**

4530 MacArthur Blvd NW  
Washington, DC 20007

Title

**First Floor Plan Section A**

Seal



Date

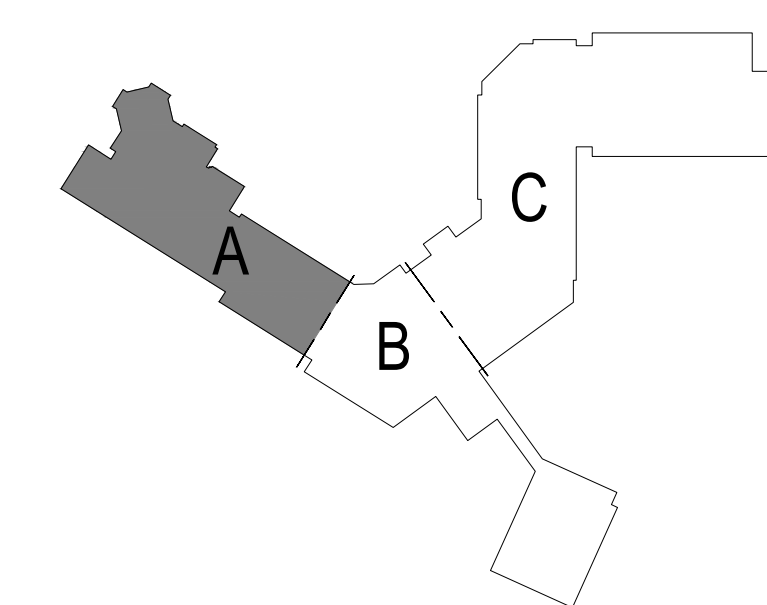
11.18.2022

Rev.	Date
Existing Conditions	05.16.2022
Progress Set	09.02.2022
DD Set	10.04.2022
VE Progress/Coordination	10.12.2022
Permit Checklist	11.01.2022
Permit Set	11.18.2022

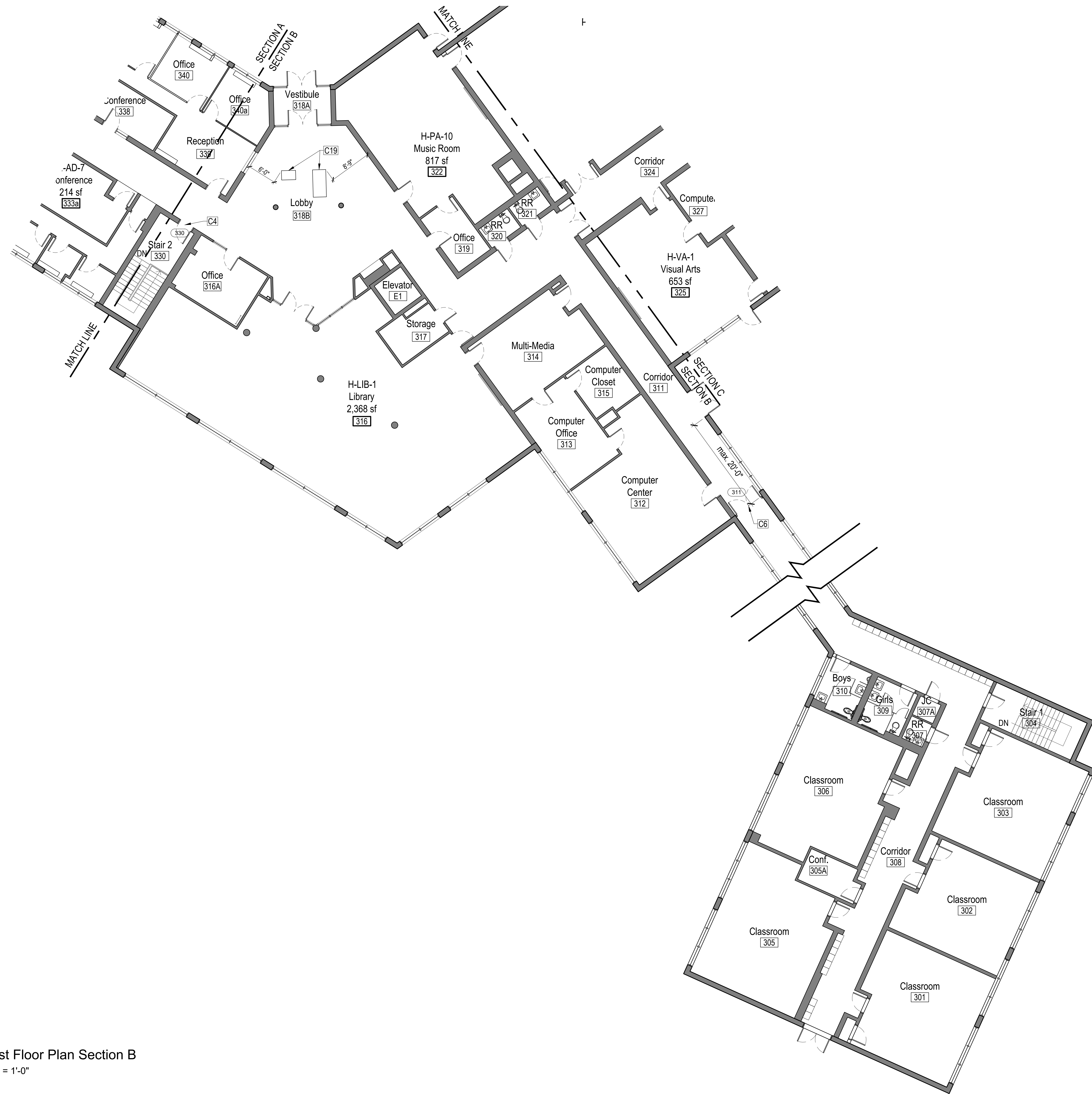
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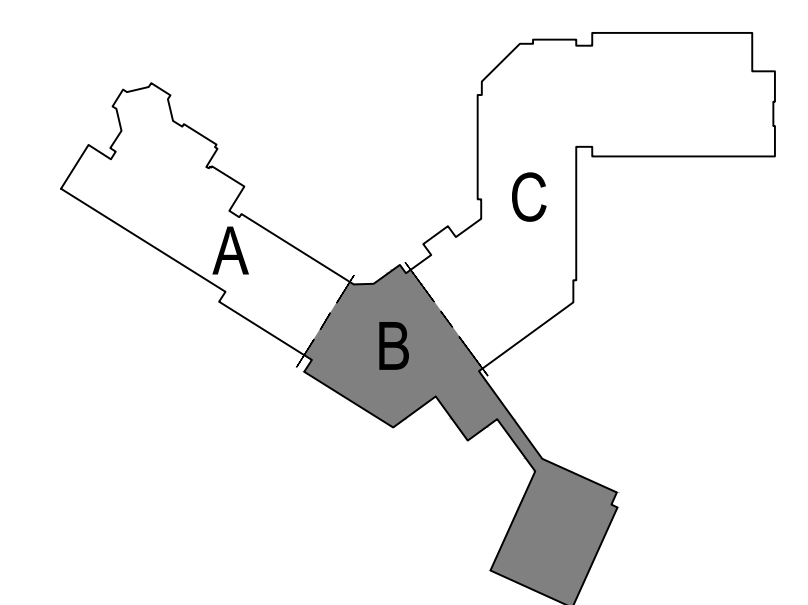
**A103**







1 First Floor Plan Section B  
A103 1/8" = 1'-0"



- General Construction Notes**
- Contractor shall verify all dimensions in field prior to commencing work.
  - Paint all areas affected by the work to match adjacent areas.
  - New Kitchen. Coordinate with Kitchen Designer and MEP.
  - FF&E to be provided by Owner.
- Construction Keynotes**
- C1 Remove existing flooring & related wall base. Prepare floor as req'd & install new rubber sheet flooring or resilient flooring and wall base.
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  - C3 Not used.
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  - C5 New GWB partitions, typ.
  - C6 New door. Re: door sched. Where new opening req'd, Re: lintel sched.
  - C7 Install new millwork. Re: interior elevations.
  - C8 Install existing salvaged plumbing fixtures and related accessories.
  - C9 Not Used.
  - C10 Not Used.
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  - C13 Install rolling door. Re: Equipment schedule.
  - C14 New plumbing fixture with new connections.
  - C15 Not Used.
  - C16 New appliance. Re: equipment schedule.
  - C17 Repaint gym flooring at selected locations.
  - C18 New CMU walls.
  - C19 Install new security equipment.

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**Consultants**

**MEP Engineer**  
Engenium Group  
1017 O Street, NW  
Washington, DC 20001

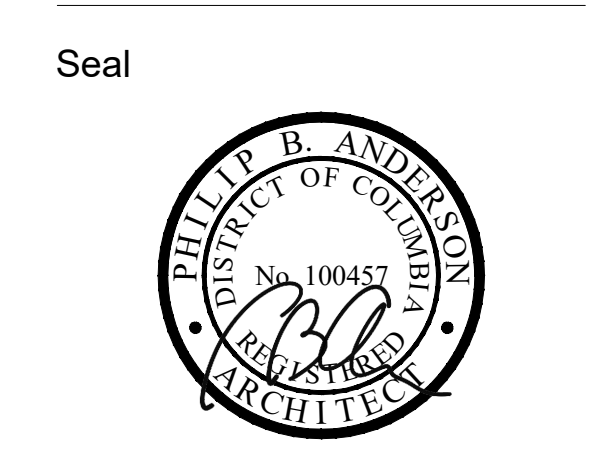
**Structural Engineer**  
S Street Structural Engineers  
7119 Chestnut Street, NW  
Washington, DC 20012

**Kitchen Designer**  
Nykos Garcia  
Foodservice Design  
7146 Starmount Way  
New Market, MD 21774

Renovation of  
**MacArthur Blvd  
High School**

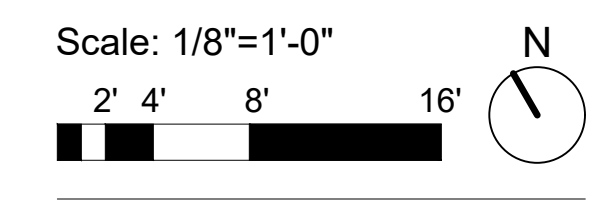
4530 MacArthur Blvd NW  
Washington, DC 20007

Title  
**First Floor Plan  
Section B**



Date  
11.18.2022

Rev.	Date
Existing Conditions	05.16.2022
Progress Set	09.02.2022
DD Set	10.04.2022
VE Progress/Coordination	10.12.2022
Permit Checkset	11.01.2022
Permit Set	11.18.2022



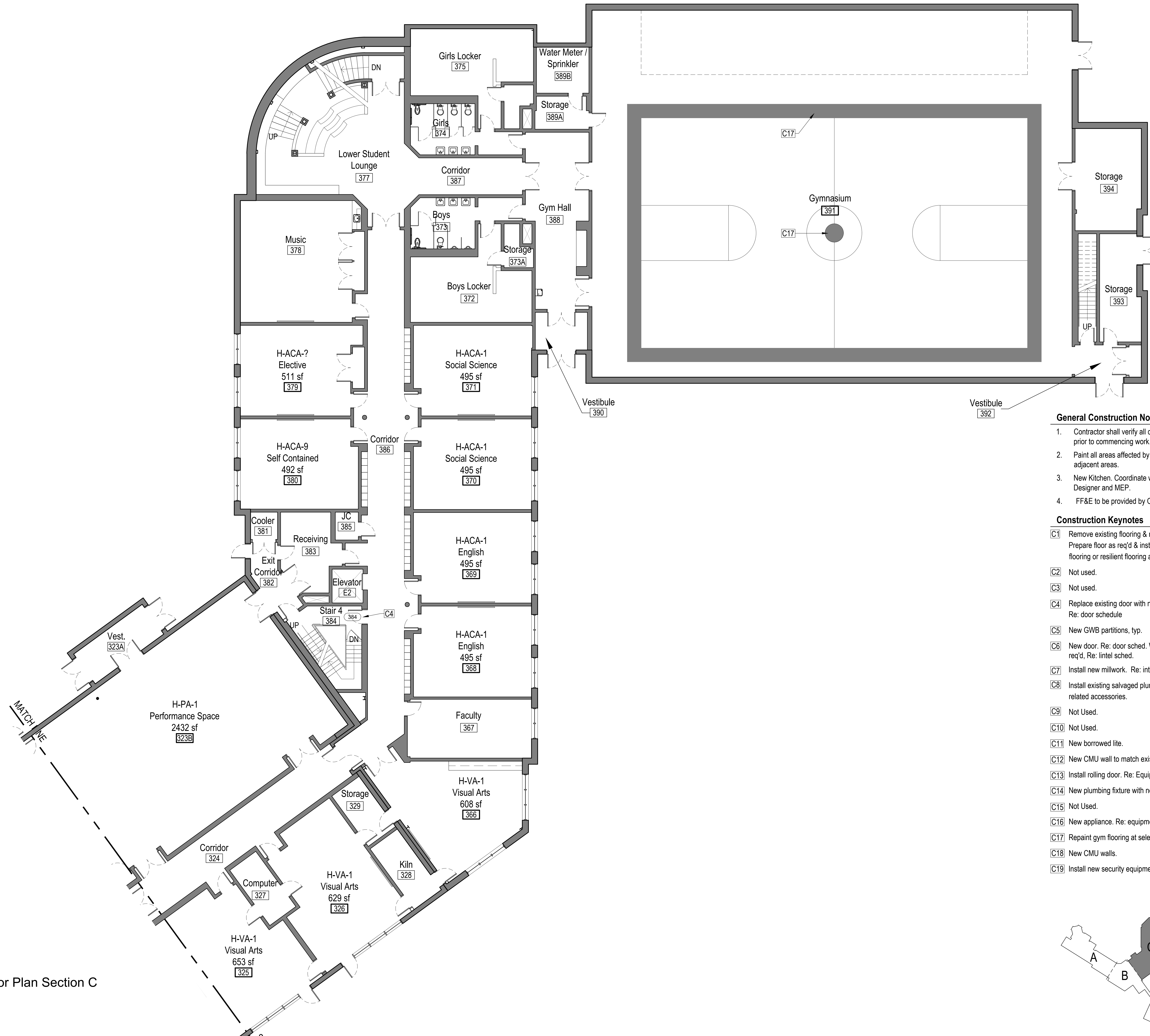


Consultants

**MEP Engineer**  
Engenium Group  
1017 O Street, NW  
Washington, DC 20001

**Structural Engineer**  
S Street Structural Engineers  
7119 Chestnut Street, NW  
Washington, DC 20012

**Kitchen Designer**  
Nyikos Garcia  
Foodservice Design  
7146 Starmount Way  
New Market, MD 21774



**General Construction Notes**

1. Contractor shall verify all dimensions in field prior to commencing work.
2. Paint all areas affected by the work to match adjacent areas.
3. New Kitchen. Coordinate with Kitchen Designer and MEP.
4. FF&E to be provided by Owner.

**Construction Keynotes**

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- C15 Not Used.
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- C18 New CMU walls.
- C19 Install new security equipment.

Renovation of  
**MacArthur Blvd High School**

4530 MacArthur Blvd NW  
Washington, DC 20007

Title

**First Floor Plan Section C**

Seal

Date

11.18.2022

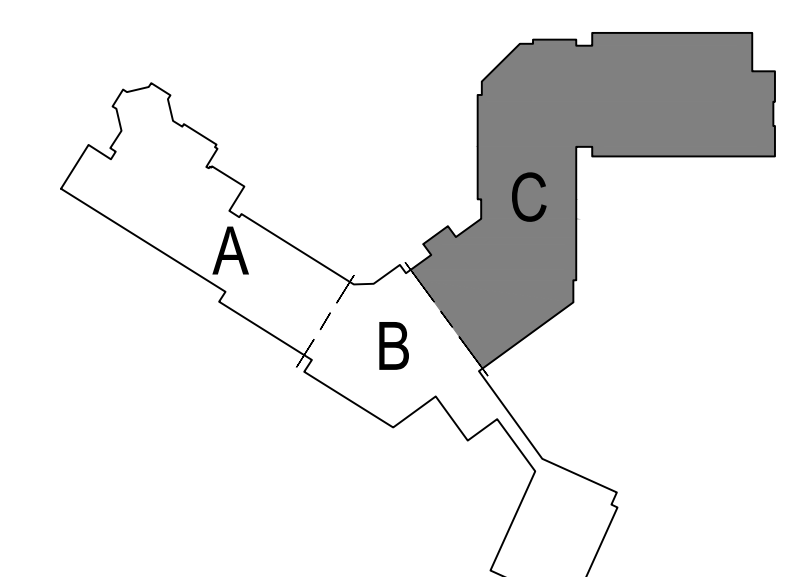
Rev.	Date
Existing Conditions	05.16.2022
Progress Set	09.02.2022
DD Set	10.04.2022
VE Progress/Coordination	10.12.2022
Permit Checklist	11.01.2022
Permit Set	11.18.2022

Scale: 1/8"=1'-0"  
2' 4' 8' 16'

Sheet

**A105**

**1**  
A105 First Floor Plan Section C  
1/8" = 1'-0"





Consultants

**MEP Engineer**  
Engenium Group  
1017 O Street, NW  
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Washington, DC 20012

**Kitchen Designer**  
Nyikos Garcia  
Foodservice Design  
7146 Starmount Way  
New Market, MD 21774

**General Construction Notes**

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**1** Roof Plan Section A  
A104 1/8" = 1'-0"

Renovation of  
**MacArthur Blvd High School**

4530 MacArthur Blvd NW  
Washington, DC 20007

Title

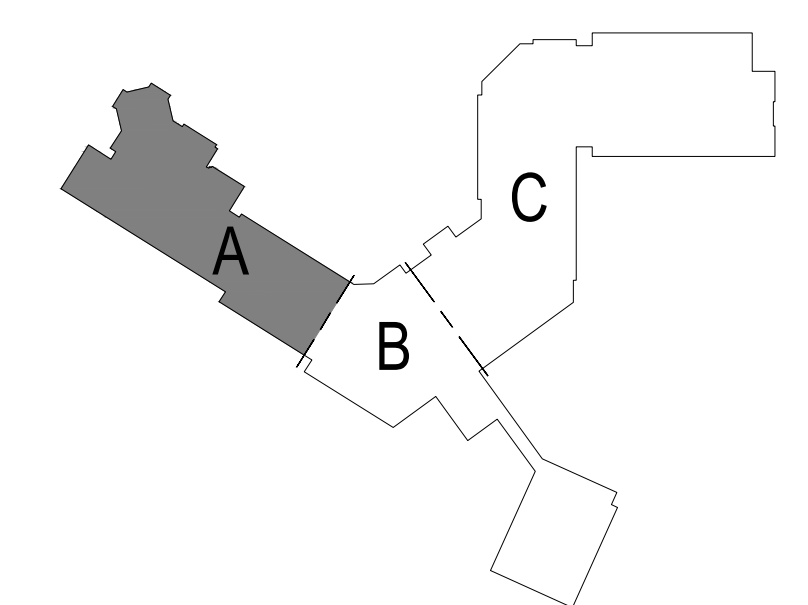
**Second Floor Plan (Roof Plan) Section A**

Seal

Date  
11.18.2022

Rev.	Date
Existing Conditions	05.16.2022
Progress Set	09.02.2022
DD Set	10.04.2022
VE Progress/Coordination	10.12.2022
Permit Checklist	11.01.2022
Permit Set	11.18.2022

Scale: 1/8"=1'-0"  
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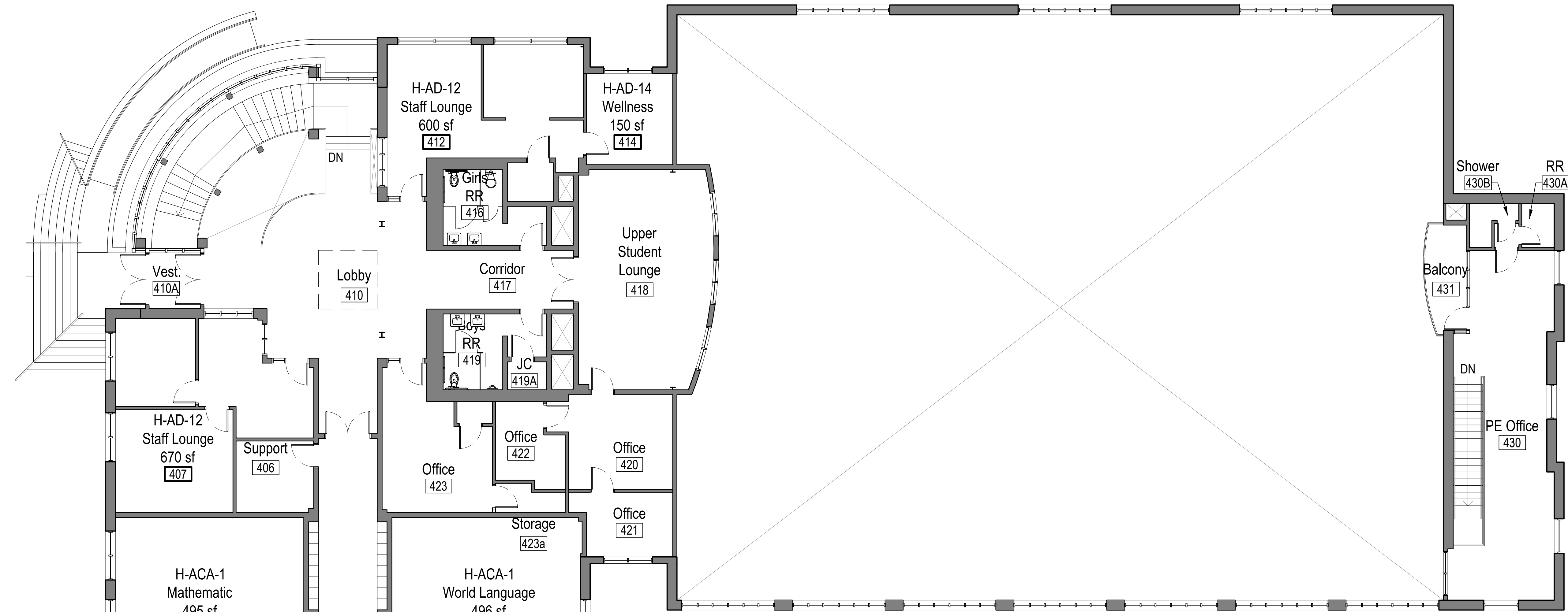


Consultants

**MEP Engineer**  
Engenium Group  
1017 O Street, NW  
Washington, DC 20001

**Structural Engineer**  
S Street Structural Engineers  
7119 Chestnut Street, NW  
Washington, DC 20012

**Kitchen Designer**  
Nyikos Garcia  
Foodservice Design  
7146 Starmount Way  
New Market, MD 21774



**General Construction Notes**

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- C19 Install new security equipment.

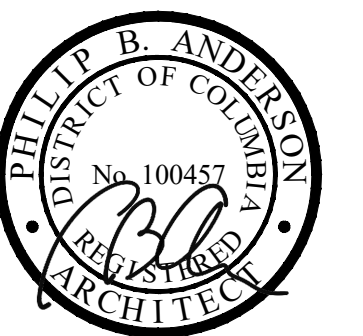
Renovation of  
**MacArthur Blvd High School**

4530 MacArthur Blvd NW  
Washington, DC 20007

Title

**Second Floor Plan Section C**

Seal



Date

11.18.2022

Rev. Date

Existing Conditions	05.16.2022
Progress Set	09.02.2022
DD Set	10.04.2022
VE Progress/Coordination	10.12.2022
Permit Checklist	11.01.2022
Permit Set	11.18.2022

Scale: 1/8"=1'-0"



Sheet

**A107**

**1**  
A106 Second Floor Plan Section C  
1/8" = 1'-0"

